

CONSTRUCTION DOCUMENTS

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REVISIONS		
NO	REVISION	DATE

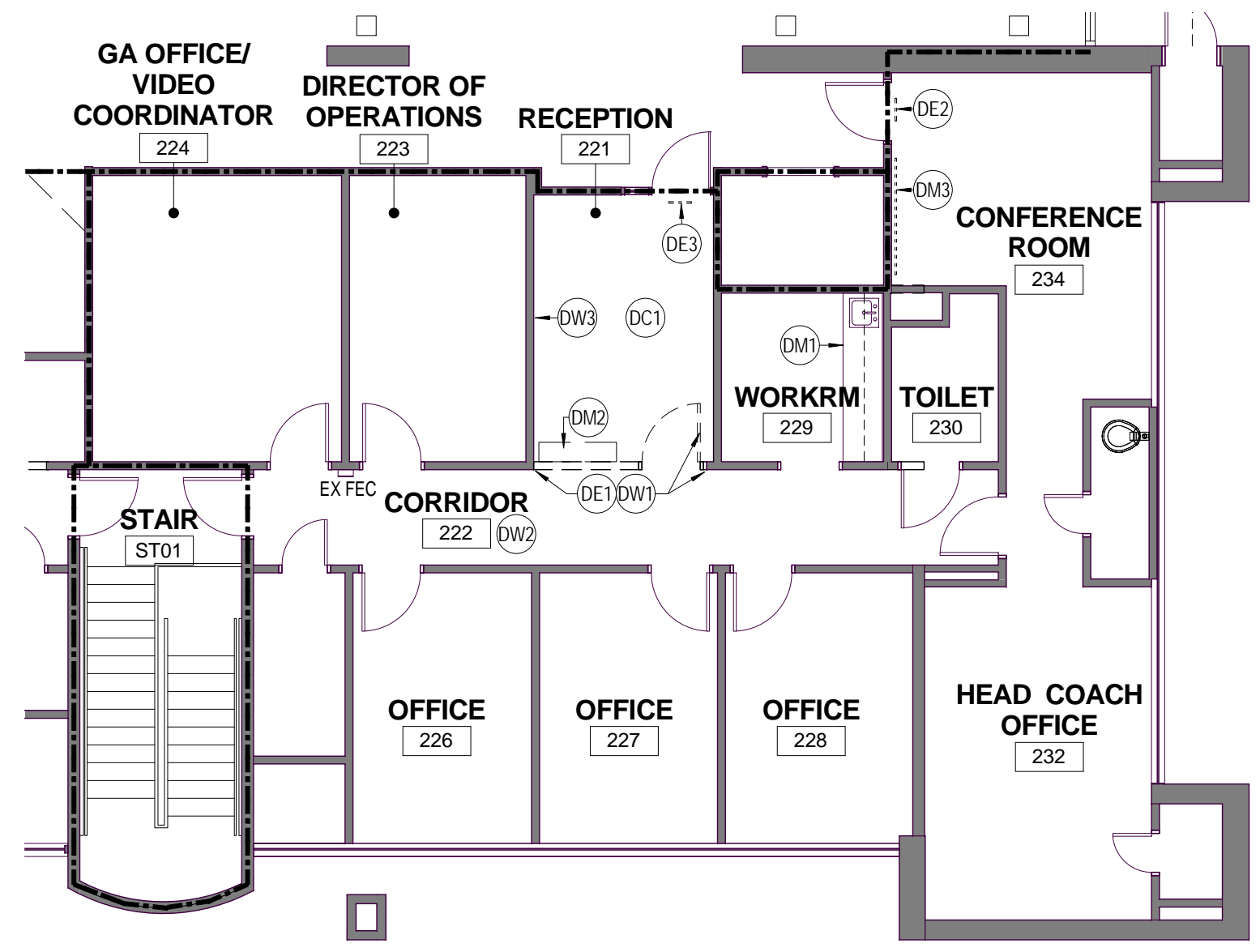
SHEET INFORMATION

Date: AUGUST 16, 2012
 Project No.: 12.130.01
 Scale: As indicated
 Drawn By: JRF
 Checked By: BLH

TITLE

DEMOLITION AND RENOVATION PLANS, SCHEDULES AND DETAILS

SHEET NO. **A1**

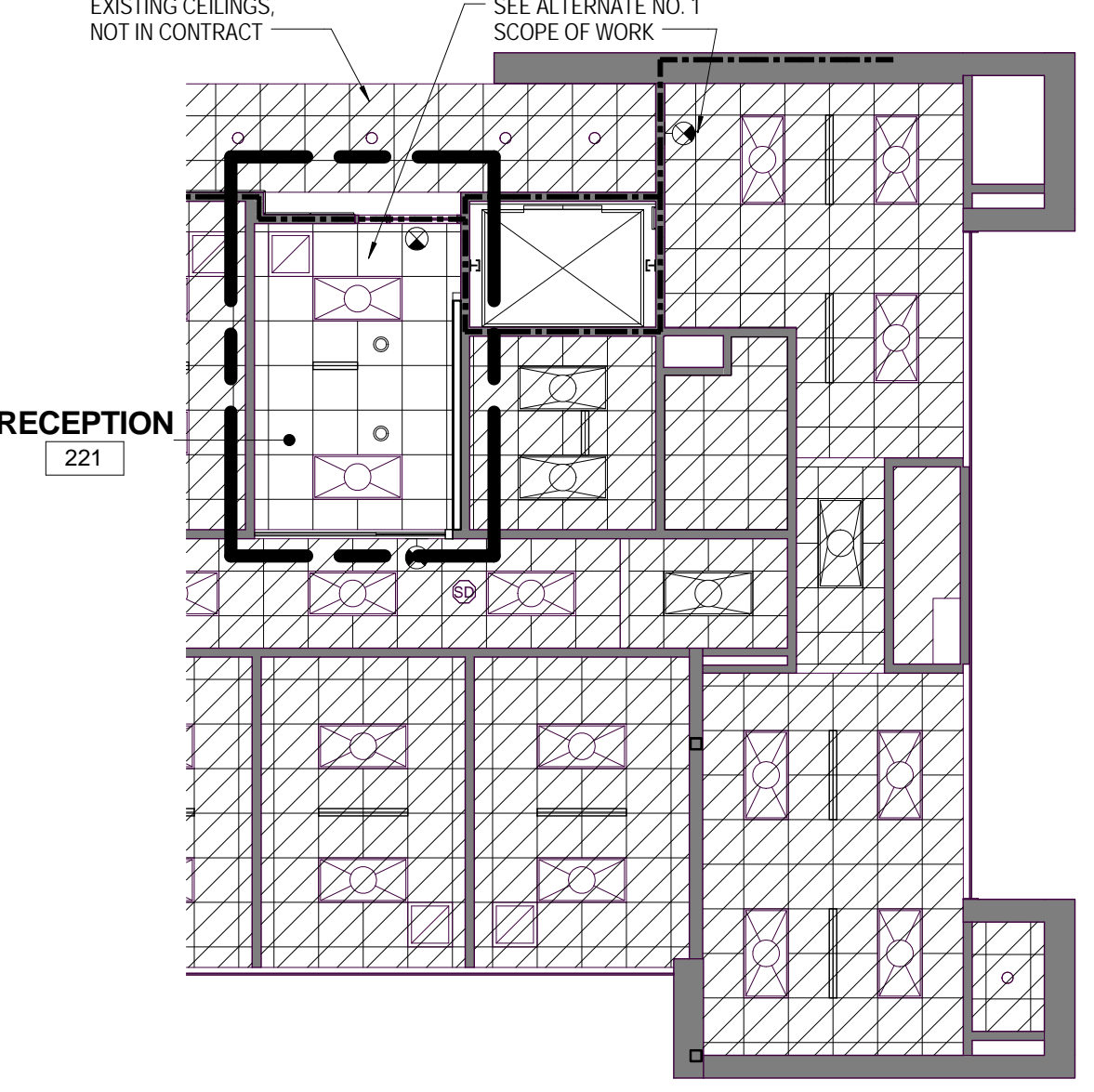
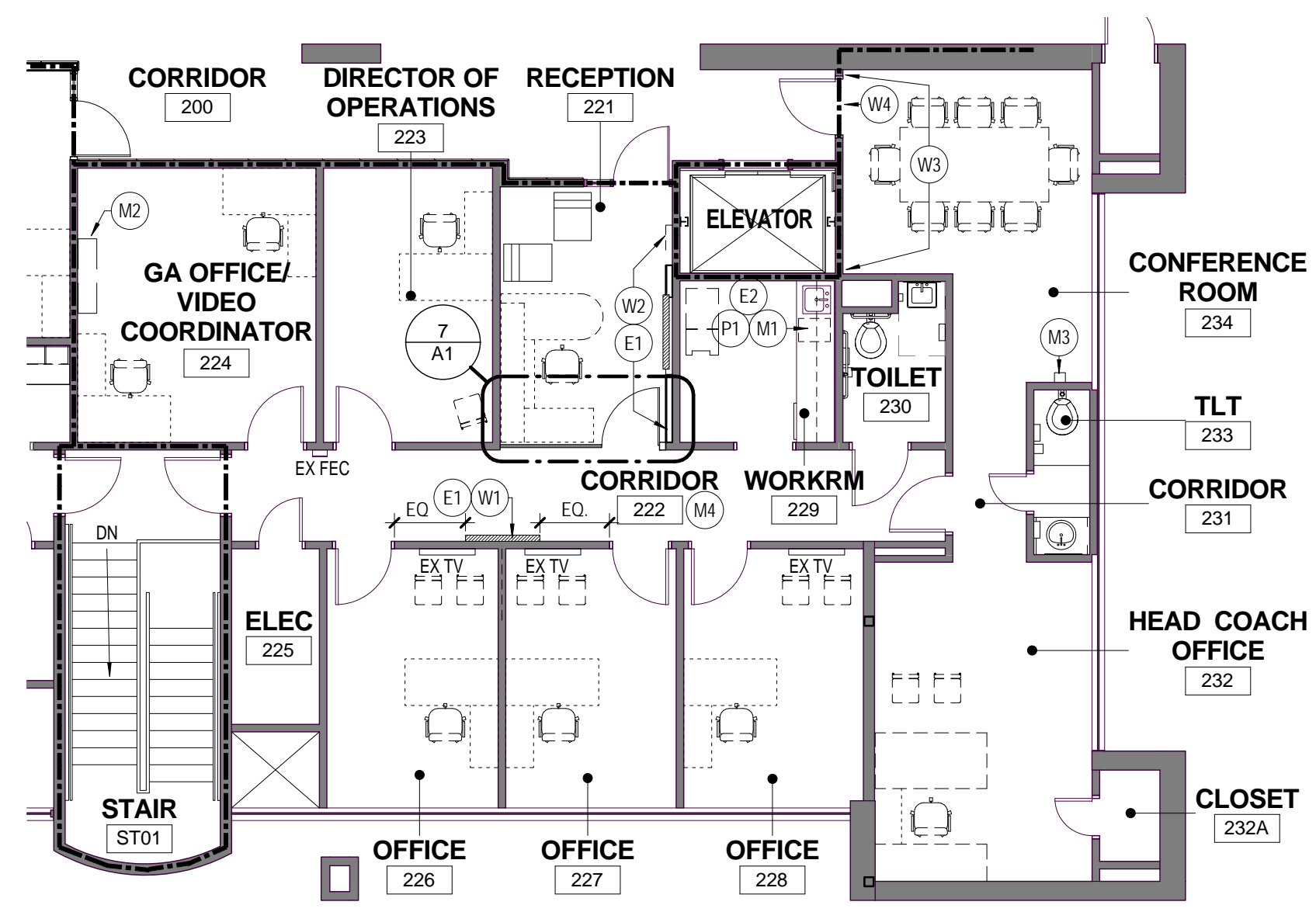


LEGEND

- EXISTING PARTITION TO REMAIN
- EX.FEC EXISTING FIRE EXTINGUISHER AND SURFACE MOUNTED CABINET
- EX.TV EXISTING TV TO REMAIN
- TV (O.F.O.I) REFER RENOVATION NOTES FOR E1 & W1

GENERAL DEMOLITION AND RENOVATION NOTES

- EXISTING CONDITIONS ILLUSTRATED AS OF MAY, 2012.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR SIZES, QUANTITIES, AND LOCATIONS.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN AREAS OF WORK, AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- AT WORK AREA, ALL LOOSE ITEMS (ARTWORK, FRAMED PICTURES, ETC.) ON WALL WILL BE REMOVED BY OWNER. U.N.O. ALL FURNITURE WILL REMAIN IN PLACE DURING CONSTRUCTION.



1 DEMOLITION FLOOR PLAN
 SCALE: 1/8" = 1'-0"

- PLAN NORTH
- EXISTING WALL & ASSOCIATED DOOR, DOOR HARDWARE & DOOR FRAME TO BE REMOVED.
- REMOVE EXISTING GRAPHICS & DOOR SIGNAGE AT CORRIDOR 222. PATCH & PREPARE WALL PRIOR TO MATCH EXISTING PRIOR TO PAINTING. RE-INSTALL ALL DOOR SIGNAGE AFTER PAINTING.
- REMOVE EXISTING WALL MOUNTED GAMECOCK LOGO ON WALL & TURN OVER LOGO TO OWNER. PATCH & PREPARE WALL TO MATCH EXISTING PRIOR TO PAINTING.
- REMOVE EXISTING BASE CABINET UNIT FOR NEW ICE-MAKER. MODIFY OR REPLACE EXISTING WALL BASE WHERE BASE CABINET HAS BEEN REMOVED.
- REMOVE EXISTING CABINET SECURED TO WALL & RELOCATE TO ROOM 224. ACTUAL LOCATION AS DIRECTED BY THE OWNER. PATCH & PAINT WALL TO MATCH EXISTING.
- REMOVE EXISTING MARKERBOARD & TURN OVER TO OWNER. PATCH WALL TO MATCH EXISTING PRIOR TO PAINTING.
- REMOVE EXISTING CEILING TILES. EXISTING CEILING GRID TO REMAIN.
- SEE ELECTRICAL DWG FOR REMOVAL OF POWER & DATA ON THIS WALL.
- SEE ELECTRICAL DWG FOR REMOVAL OF EXISTING EXIT SIGN & JUNCTION BOX.
- SEE ELECTRICAL DWG FOR REPLACEMENT OF EXISTING SIGN

2 RENOVATION PLAN
 SCALE: 1/8" = 1'-0"

- PLAN NORTH
- REMOVE PORTION OF EXISTING GYPSUM BOARD FOR NEW TV BOX. PROVIDE ADDITIONAL METAL STUD FRAMING FOR TV BOX AND FIRE RETARDANT TREATED WOOD BLOCKING FOR TV MOUNT SUPPORT. PATCH WALL TO MATCH EXISTING. BRACE WALL TOP OF WALL TO STRUCTURE ABOVE.
- NEW FURRED-OUT WALL: 5/8" GYP BD ON 3/8" METAL STUDS @ 16" O.C. REFER TO ELEVATION FOR RECESSED IN WALL FOR TV & FOR ANGLE EDGE OF WALL.
- PAINT WALL WITH MARKER BOARD PAINT, FULL HEIGHT x WIDTH AS INDICATED ON THE PLAN. PREPARE WALL FOR LEVEL 5 FINISH PRIOR TO PAINTING.
- PATCH GYP BD WALL (WHERE EXIT SIGN HAS BEEN REMOVED) TO MATCH EXISTING.
- NEW ICE MAKER. INSTALL FILLER PANEL ON EACH SIDE TO CONCEAL GAP BETWEEN ICE MAKER & ADJACENT BASE CABINET UNITS. SEE WORKROOM INTERIOR ELEVATION.
- RELOCATE CABINET AS DIRECTED BY THE OWNER. PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING TO SECURE CABINET TO WALL.
- NEW WALL MOUNTED 10" DIAMETER MOLDED PLASTIC BIKE STORAGE/HOLDER, "CYCLOC" BIKE STORAGE/HOLDER. VERIFY ACTUAL LOCATION W/ OWNER. PROVIDE BLOCKING AS REQUIRED TO SECURE BIKE HOLDER ON WALL.
- REINSTALL ROOM SIGNS NEXT TO DOORS AT CORRIDOR 222.
- SEE PLUMBING FOR WATER SUPPLY & DRAIN FOR ICE MAKER.
- NEW TV BOX. SEE ELECTRICAL DWGS. VERIFY FINAL LOCATION WITH OWNER.
- SEE ELECTRICAL FOR POWER SUPPLY FOR ICE MAKER.

3 PARTIAL REFL CEILING PLAN
 SCALE: 1/8" = 1'-0"

- ALTERNATE NO. 1: SCOPE OF WORK TO INCLUDE THE FOLLOWING:
- AT RECEPTION 221:**
 - REMOVE AND REPLACE EXISTING CEILING TILES; EXISTING CEILING GRID TO REMAIN. CLEAN CEILING GRID.
 - REMOVE AND REPLACE EXISTING LIGHT FIXTURES AS INDICATED ON THE ELECTRICAL DWGS.
 - REMOVE AND REPLACE EXISTING EXIT SIGN ABOVE DOOR TO OFFICE SUITE ABOVE.
 - CONFERENCE 234:**
 - REMOVE EXISTING EXIT SIGN ABOVE DOOR TO OFFICE SUITE ABOVE. REFER TO ELECTRICAL FOR REMOVAL OF EXISTING JUNCTION BOX.

ROOM FINISH SCHEDULE

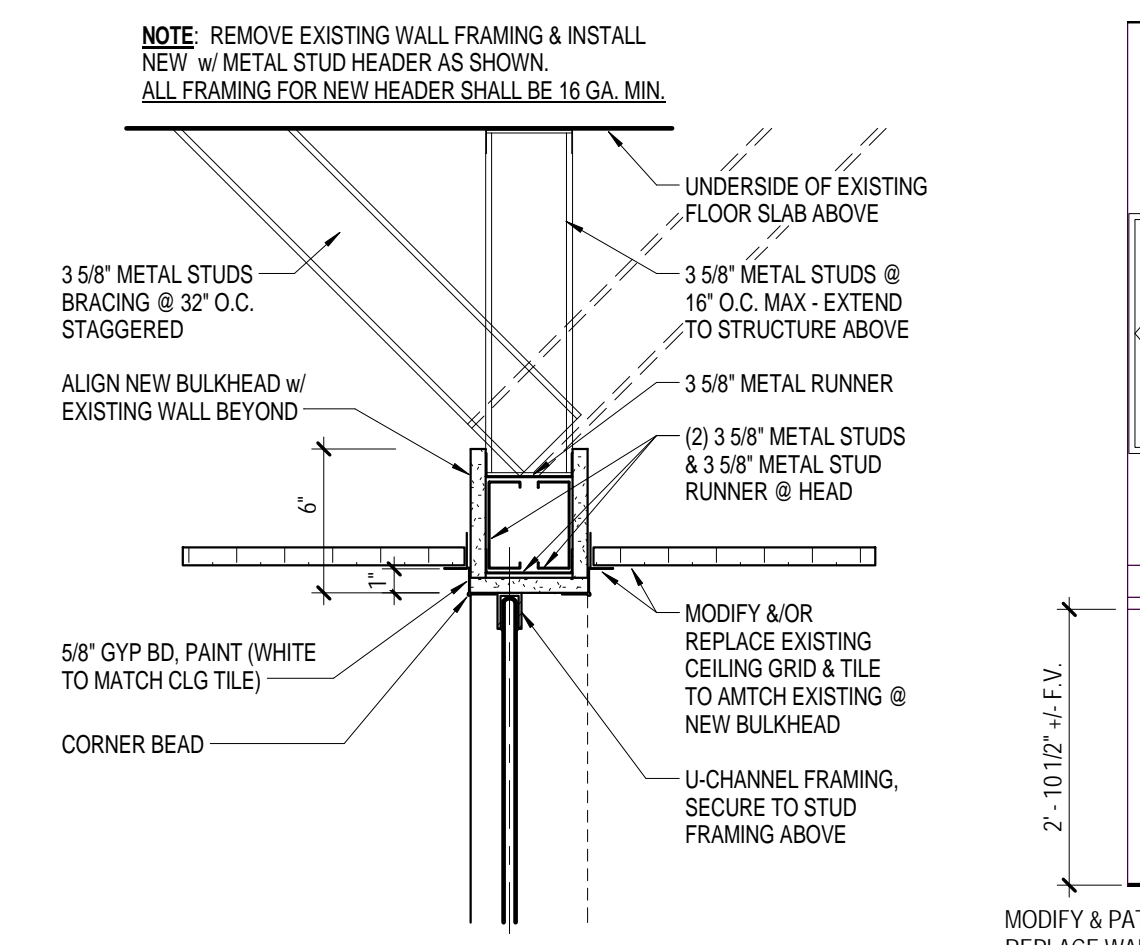
ROOM NO	ROOM NAME	FLOOR		WALLS				CEILING FINISH	REMARKS
		FINISH	BASE	NORTH	SOUTH	EAST	WEST		
221	RECEPTION	EXIST	EXIST/WD / PT-2	PT-1	-	PT-1	PT-1	EXIST	B, D
222	CORRIDOR	EXIST	EXIST	PT-1	PT-1	PT-1	PT-1	EXIST	
234	CONFERENCE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	C

FINISH NOTES

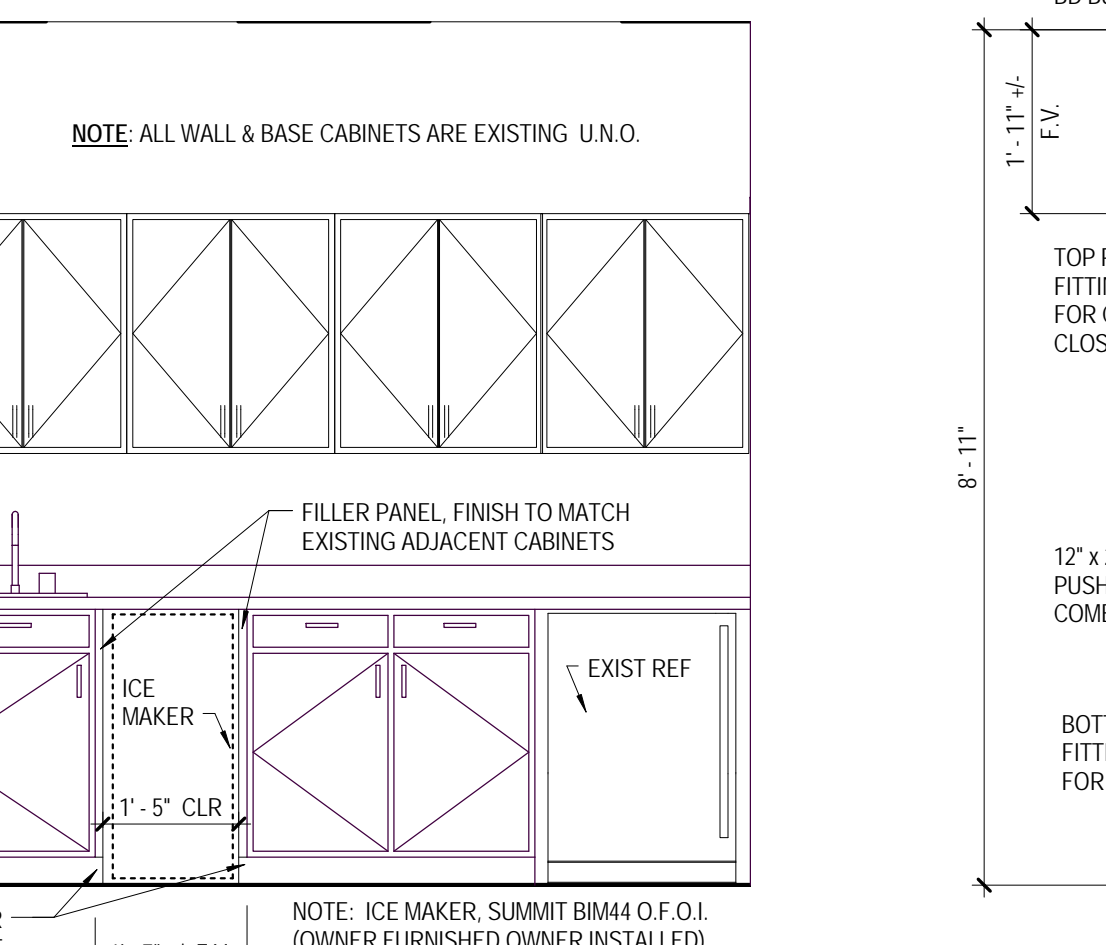
- ALL FINISHES AND MATERIALS SHALL BE AS INDICATED ON THE FINISH PLANS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL OF THE DESIGNER.
- NEW WOOD WALL BASE (AT NEW FURRED-OUT) WALL TO MATCH EXISTING BASE PROFILE & PAINT COLOR.
- SEE RENOVATION PLAN FOR EXTENTS OF PT-3 (MARKERBOARD PAINT)
- ALTERNATE NO. 1: NEW CEILING TILE

FINISH LEGEND

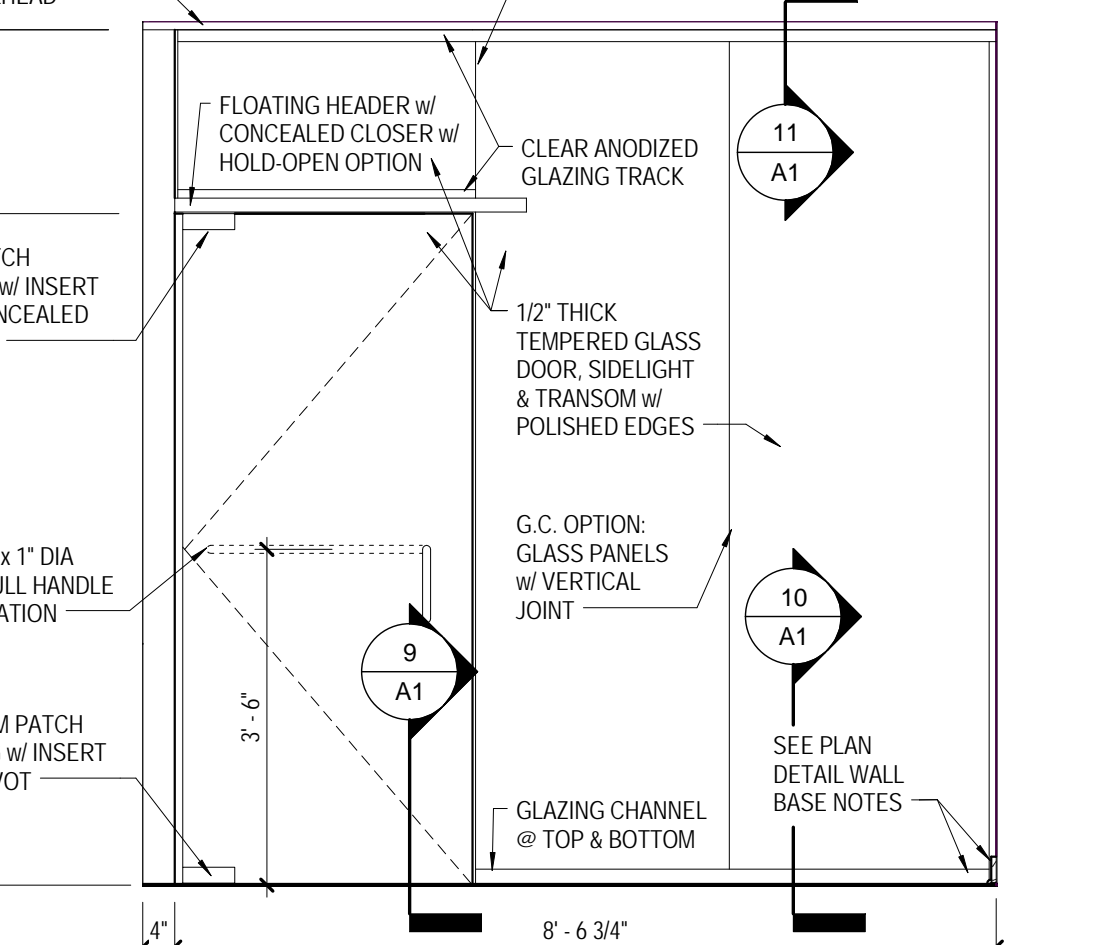
PT-1	WALL PAINT	COLOR AS SELECTED BY THE OWNER
PT-2	TRIM PAINT	MATCH EXISTING - SHERWIN WILLIAMS SW 7012 CREAMY
PT-4	MARKER BOARD PAINT	WOLF GORDON SCUFFMASTER SOLID METAL STAIN SHEEN, COLOR SILVER SM808, G 8174537



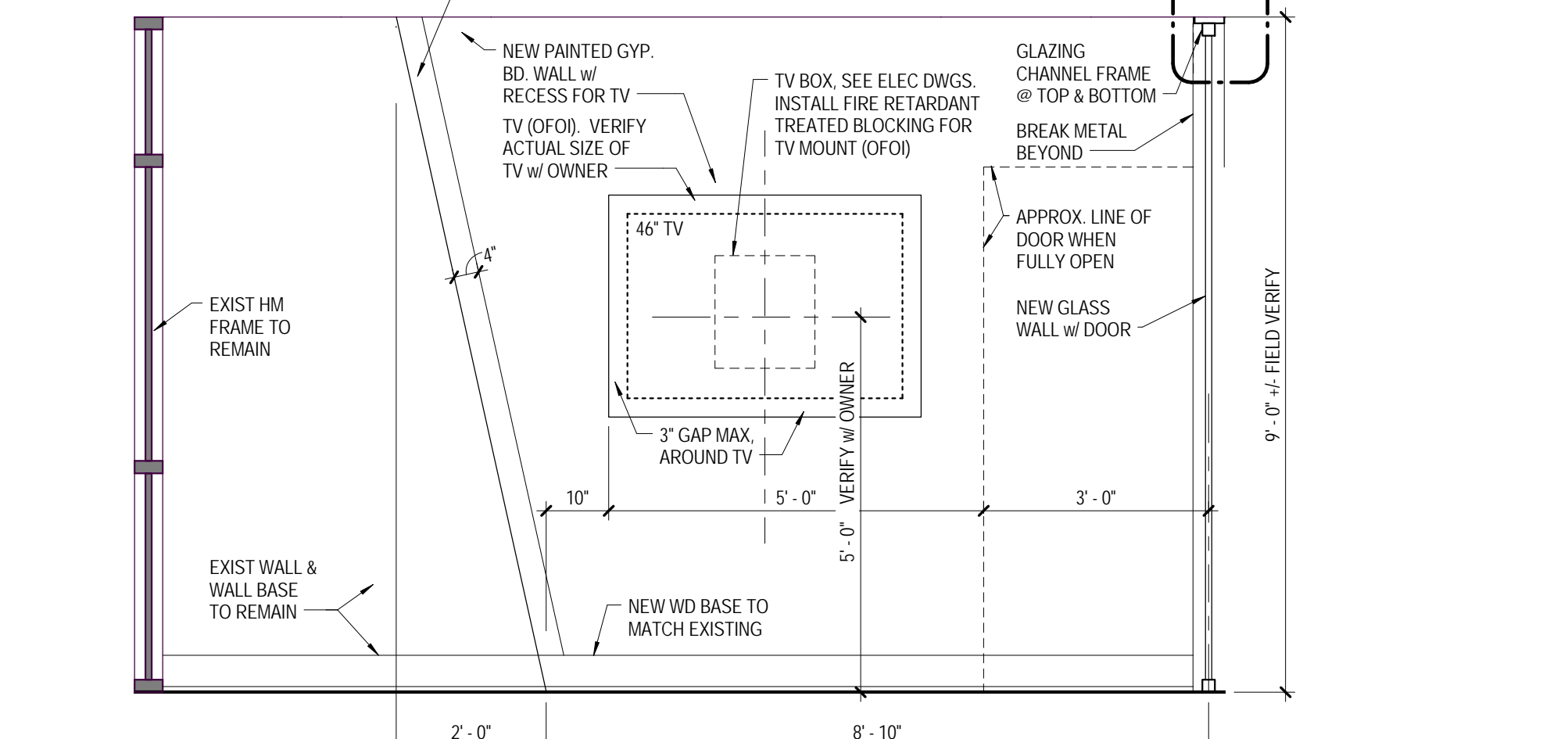
11 DETAIL AT GLASS WALL HEAD
 SCALE: 1 1/2" = 1'-0"



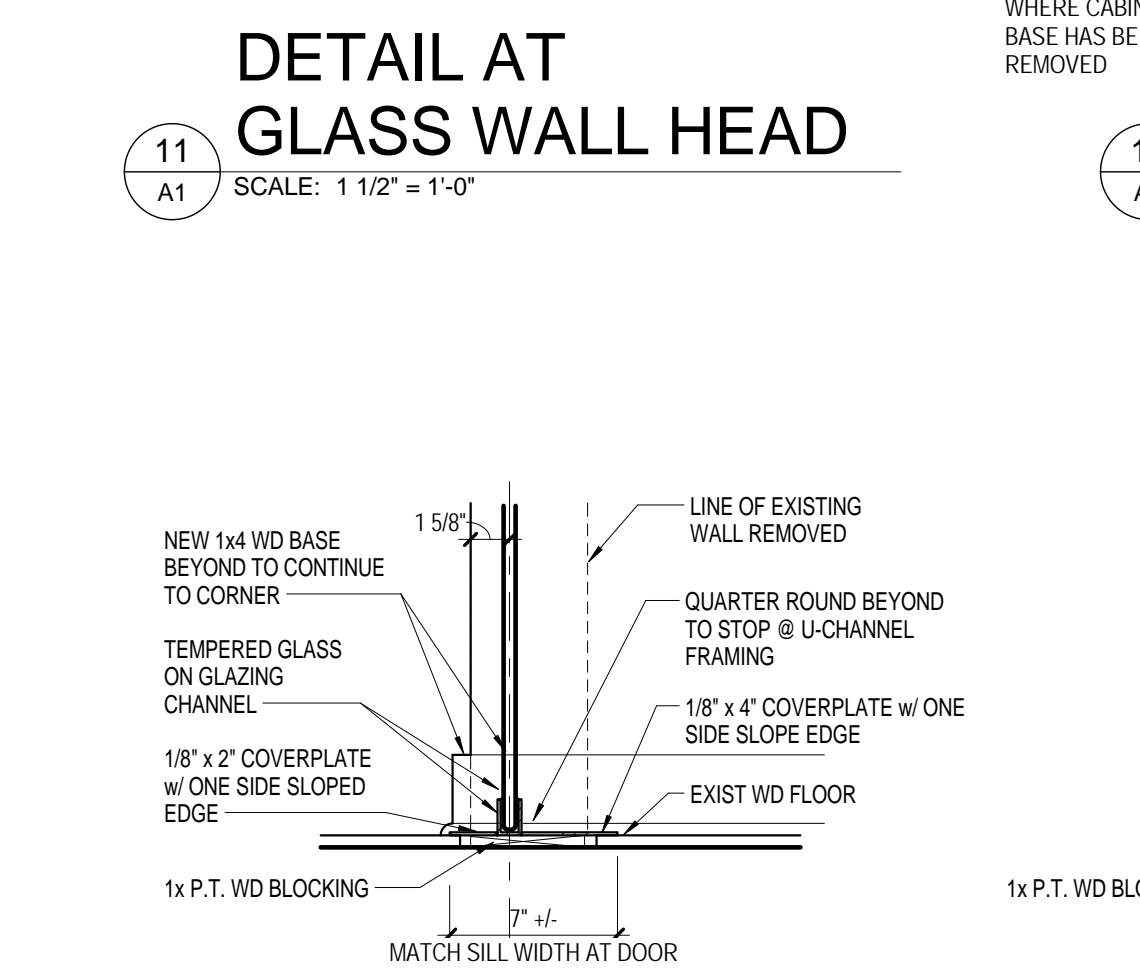
12 WORKROOM 229 INTERIOR ELEVATION
 SCALE: 1/2" = 1'-0"



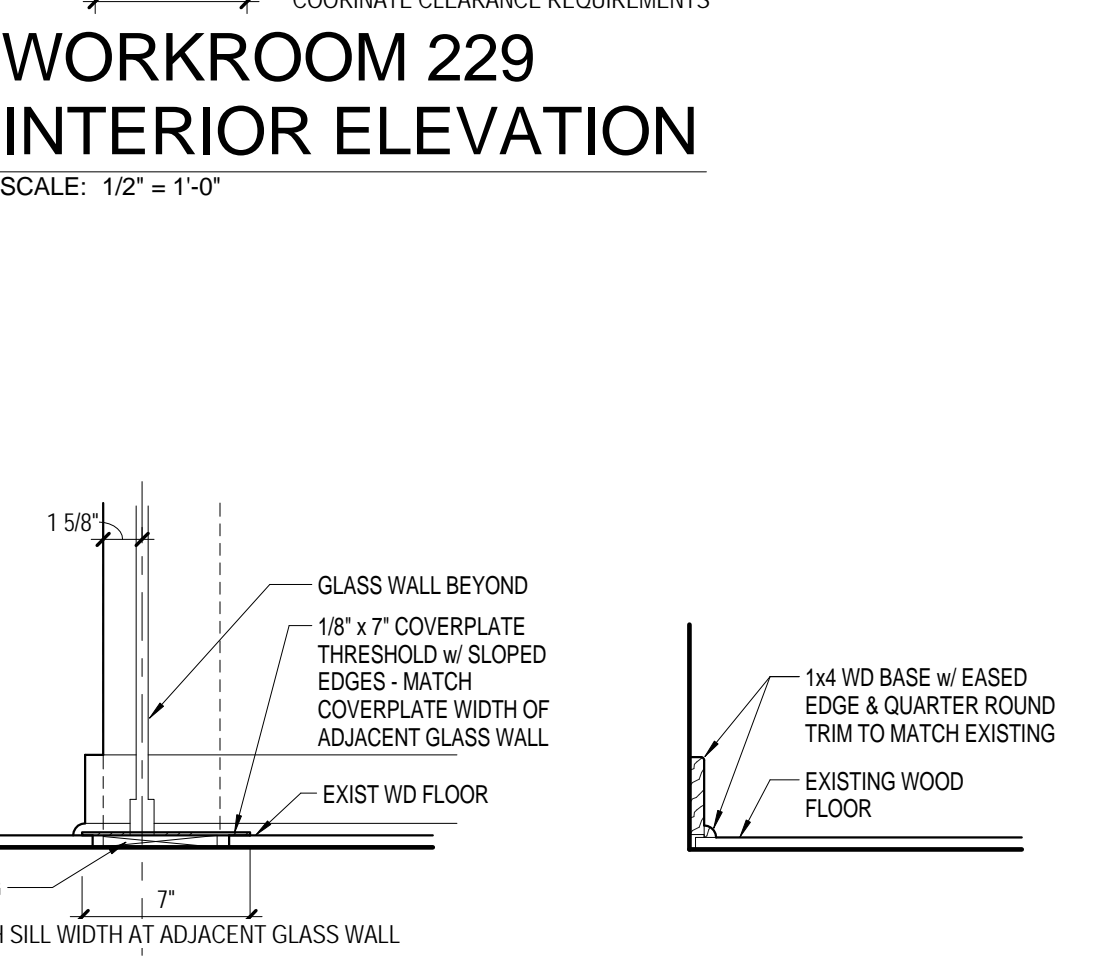
6 RECEPTION 221 GLASS WALL ELEVATION
 SCALE: 1/2" = 1'-0"



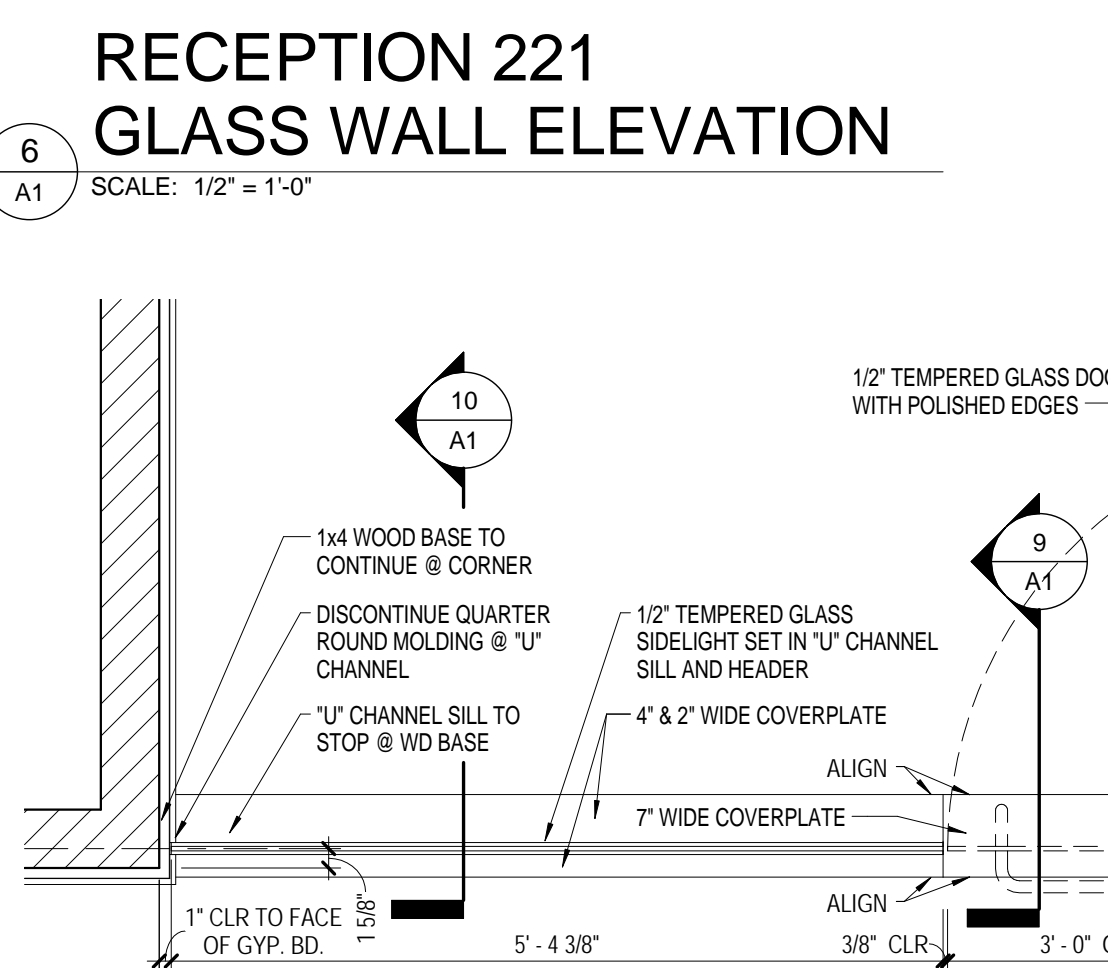
4 RECEPTION 221 TV WALL ELEVATION
 SCALE: 1/2" = 1'-0"



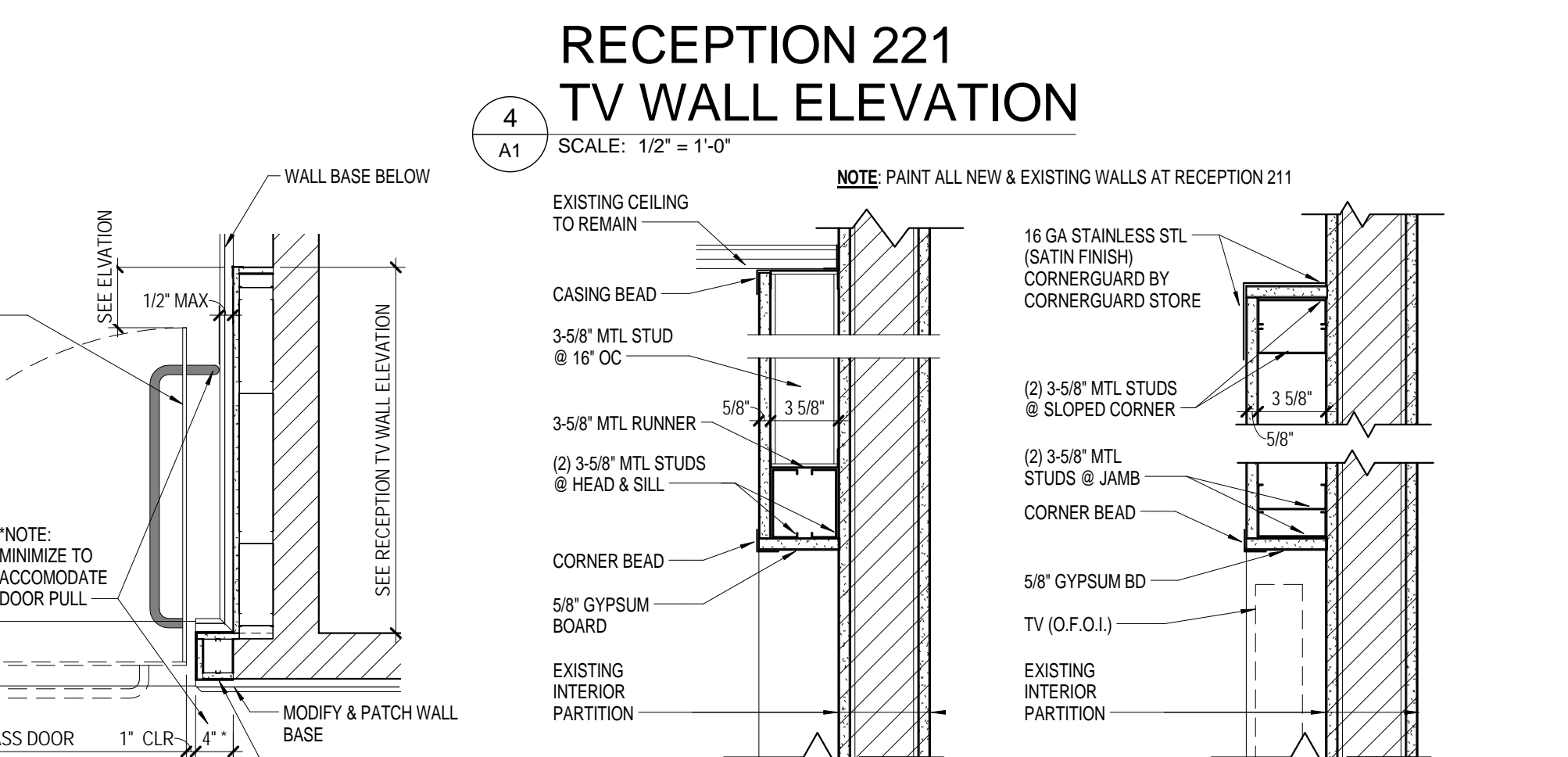
10 DETAIL AT GLASS WALL BASE
 SCALE: 1 1/2" = 1'-0"



9 DETAIL AT GLASS DOOR SILL
 SCALE: 1 1/2" = 1'-0"



7 GLASS WALL DETAIL PLAN
 SCALE: 3/4" = 1'-0"



5 RECESSED WALL DETAILS
 SCALE: 1 1/2" = 1'-0"